



COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
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**CITY OF NEWPORT BEACH
ZONING ADMINISTRATOR STAFF REPORT**

June 13, 2013
Agenda Item No. 3

SUBJECT: Smith Residence Remodel - (PA2013-094)
220 Ruby Avenue
▪ Modification Permit No. MD2013-009

APPLICANT: Mark Teale

PLANNER: Makana Nova, Assistant Planner
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ZONING DISTRICT/GENERAL PLAN

- **Zone:** R-BI (Residential-Balboa Island)
- **General Plan:** RT (Two-Unit Residential)

PROJECT SUMMARY

A modification permit to enclose an existing 13-foot wide exterior staircase at an existing nonconforming duplex that would encroach two inches into the required three-foot northerly side yard setback.

RECOMMENDATION

- 1) Conduct a public hearing; and
- 2) Adopt Draft Zoning Administrator Resolution No. _ approving Modification Permit No. MD2013-009 (Attachment No. ZA 1).

DISCUSSION

- The property is currently developed with a 2,741-square-foot nonconforming duplex that was constructed prior to 1958. The maximum allowable floor area for the property is 2,828 square feet (1.5 times the buildable area of the property plus 200 sq ft). The applicant's proposed addition of 87 square feet would create a residence with a total of 2,828 square feet. The result would be a duplex that is comparable in size and scale to other dwellings in the neighborhood.

- The proposed addition consists of the enclosure of an existing exterior stairway at the first and second levels to access the rear dwelling unit at the second level located above the two-car garage. The project also includes the addition of a non-habitable attic above the second floor level, which does not count toward the gross floor area limit. Other portions of the structure would be remodeled and updated with cosmetic improvements but the existing floor plan configuration would not be altered. The additional floor area will not increase the number of dwelling units or bedrooms within the existing duplex.
- A two-inch encroachment into the side yard setback is necessary to accommodate a required one-hour fire separation wall for the enclosed stairway and to maintain the three-foot minimum stairway width as required by the Building Code.
- The 2-inch by 13-foot wide encroachment is two-stories high. The location of the encroachment is approximately 37 feet back from the street and approximately 30 feet back from the alley, which will reduce the visibility of the encroachment from Ruby Avenue and the adjacent alley. The two-inch encroachment is not significant in relation to the abutting neighbor.
- The resulting 2-foot-10-inch setback provides adequate access around the building for emergency personnel.
- Section 20.52.050(Modification Permits) of the Zoning Code allows deviations of 10 percent of the required setback area with the approval of a modification permit. This code section recognizes that relief from specified development standards, including minimal setback projections, may be appropriate when so doing is consistent with the purposes of the Zoning Code and the General Plan, and does not negatively impact the community at large or in the neighborhood of the specified development.
- The alternative would be to require a reconfiguration of the existing first floor hallway and kitchen adjacent to the existing stairway, which would require extensive remodeling above and beyond the current scope of work. The only other alternative is to maintain the existing open stairway in its current condition.
- The existing duplex is nonconforming due to the number and size of garage parking spaces provided. Pursuant to Section 20.40.040 (Off Street Parking Spaces Required) of the Zoning Code, two parking spaces per dwelling unit, one in a garage and one covered or in a garage, are required for each dwelling unit. Two garage spaces and one carport space are provided for the existing development. Section 20.38.060.2.a (Nonconforming Parking) of the Zoning Code limits additions to 10 percent of the existing structure. In this case, the size of the addition, an approximate three percent addition (87 sq. ft.) to the existing nonconforming duplex, is permitted when the new floor area is consistent with applicable development standards.

- The existing structure is also nonconforming because the south side yard setback projects one inch into the required 3-foot side yard setback. Pursuant to Section 20.38.040 (Nonconforming Structures) of the Zoning Code, nonconforming structures are limited to a 50 percent addition of the existing gross floor area. The approximate three percent addition (87 sq. ft.) proposed for the existing residence falls within this limitation and is thus, permitted by right.

ENVIRONMENTAL REVIEW

The project qualifies for a Class 1 (Existing Structures) categorical exemption per Section 15301 of the California Environmental Quality Act. This exemption includes additions to the existing structure up to 50 percent of the existing floor area or 2,500 square feet, whichever is less and the proposed scope of work is below these limits.

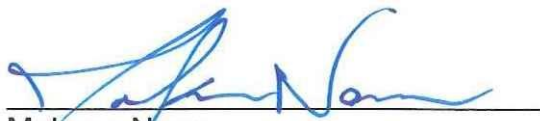
PUBLIC NOTICE

Notice of this application was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant and posted on the subject property at least 10 days prior to the decision date, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

An appeal may be filed with the Director of Community Development within fourteen (14) days following the date of action. For additional information on filing an appeal, contact the Planning Division at (949) 644-3200.

Prepared by:


Makana Nova
Assistant Planner

GR/mkn

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Site Photos
	ZA 4	Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2013-0##

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING MODIFICATION PERMIT NO. MD2013-009 TO ALLOW THE ENCLOSURE OF AN EXISTING EXTERIOR STAIRWAY THAT PROJECTS TWO INCHES INTO THE REQUIRED THREE-FOOT SIDE YARD SETBACK LOCATED AT 220 RUBY AVENUE (PA2013-094)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Mark Teale, on behalf of the property owner, Larry Smith, with respect to property located at 220 Ruby Avenue, and legally described as Lot 20, Block 10, Tract Balboa Island, Section 3, requesting approval of a modification permit.
2. The applicant requests approval of a modification permit to enclose an existing 13-foot wide exterior staircase of an existing nonconforming duplex that would encroach two inches into the required three-foot northerly side yard setback. The existing structure is nonconforming due to the number and size of garage parking spaces provided and the south side yard setback projects one inch into the required three-foot side yard setback. The approximate three percent addition (87 sq. ft.) to the existing nonconforming duplex is permitted by right pursuant to Section 20.38.060.2.a (Nonconforming Parking) of the Zoning Code, when consistent with applicable development standards.
3. The subject property is located within the Residential-Balboa Island (R-BI) Zoning District and the General Plan Land Use Element category is Two-Unit Residential (RT).
4. The subject property is located within the coastal zone. The Coastal Land Use Plan category is Two-Unit Residential (RT-E).
5. A public hearing was held on June 13, 2013, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to and considered by the Zoning Administrator at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. The project is categorically exempt under the requirements of the California Environmental Quality Act under Class 1(Existing Structures).
2. This exemption includes additions to the existing structure up to 50 percent of the existing floor area or 2,500 square feet, whichever is less and the proposed scope of work is below these limits.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 20.52.050.E (Required Findings, Modification Permits) of the Newport Beach Municipal Code (NBMC), the following findings and facts in support of the findings for a Modification Permit are set forth:

Finding:

- A. *The requested modification will be compatible with existing development in the neighborhood.*

Facts in Support of Finding:

1. The neighborhood is comprised of a development pattern of single-unit and two-unit (duplex) dwellings.
2. Minor side yard encroachments of finish materials (stucco, siding, etc.) are not uncommon for older structures constructed on 30-foot wide lots. The proposed addition will result in a residence that is similar in bulk and scale to others on Balboa Island.

Finding:

- B. *The granting of the modification is necessary due to practical difficulties associated with the property and that the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code.*

Facts in Support of Finding:

1. A two-inch encroachment into the side yard setback is necessary to accommodate a required one-hour fire separation wall at the exterior wall to enclose the existing stairway. The stairs would maintain the 3-foot minimum stairway width as required by the Building Code and would provide an entry and hallway connection to both dwelling units.
2. The existing structure and first floor plan configuration limit the area available to enclose the stairway within the buildable area of the lot.
3. The existing and proposed development will comply with the height limit, open volume, and residential design criteria as shown on the proposed plans.

Finding:

- C. *The granting of the modification is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use.*

Facts in Support of Finding:

1. Strict application of the code would require a substantial increase in the scope of the project. The applicant would be required to reconfigure the existing hallway and kitchen adjacent to the exterior stairway, which would involve extensive remodeling of existing improvements.
2. The resulting reconstruction results in a physical hardship where the owner and neighbor would have to live through and endure the corrective construction effort to provide two additional inches of setback area for strict code compliance. The physical hardship of reconfiguring the adjacent kitchen and hallway areas outweigh any tangible benefits to the abutting properties or the community.
3. Enclosing the stairway will provide a secure weather proof entrance for both units.

Finding:

- D. There are no alternatives to the Modification Permit that could provide similar benefits to the applicant with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.*

Facts in Support of Finding:

1. Without this approval, the applicant would be required to reconfigure the existing hallway and kitchen adjacent to the exterior stairway, which would involve extensive remodeling above and beyond the current scope of work.
2. The only other alternative is to maintain the existing open stairway.

Finding

- E. The granting of the modification would not be detrimental to public health, safety, or welfare to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.*

Fact in Support of Finding

1. The resulting 2-foot-10-inch setback over a 13-foot wide portion of the side yard provides adequate access for emergency personnel. The remainder of the existing duplex has a three-foot setback at the right side yard.
2. The spatial relationships between existing development and the adjacent property suggest that the light, air, and privacy of the abutting home and property will not be negatively affected.

3. The location of the encroachment is approximately 37 feet back from the street and approximately 30 feet back from the alley, which will reduce the visibility of the encroachment from Ruby Avenue and the alley.
4. The applicant/owner is required to obtain a building permit. The construction will then be inspected prior to final of building permits.
5. The existing development on the property is a duplex. As such, there is no change to the density or intensity under the proposed remodel and addition.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Modification Permit No. MD2013-009 (PA2013-094), subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.
2. This action shall become final and effective fourteen days after the adoption of this Resolution unless within such time an appeal is filed with the Community Development Director in accordance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.

PASSED, APPROVED AND ADOPTED THIS 13th DAY OF JUNE, 2013.

Brenda Wisneski, AICP, Zoning Administrator

EXHIBIT "A"**CONDITIONS OF APPROVAL****PLANNING**

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval. (Except as modified by applicable conditions of approval.)
2. Modification Permit No. MD2013-009 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.91.050 of the Newport Beach Municipal Code, unless an extension is otherwise granted.
3. A copy of the resolution with conditions of approval shall be incorporated into the Building Division and field sets of plans prior to the issuance of building permits.
4. Prior to the issuance of building permits, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Modification Permit file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11-inches by 17-inches. The plans shall accurately depict the elements approved by this Modification Permit and shall highlight the approved elements such that they are readily discernible from other elements of the plans.
5. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
6. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Modification Permit.
7. The Zoning Administrator may add to or modify the conditions of approval to this Modification Permit or revoke this Modification Permit upon a determination that the operation, which is the subject of this Modification Permit, causes injury, or is detrimental to the health, safety, peace, comfort, or general welfare of the community.
8. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the property owner.
9. To the fullest extent permitted by law, applicant shall indemnify, defend, and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly

or indirectly) to City's approval of the Smith Residence Remodel including, but not limited to, Modification Permit No. MD2013-009 (PA2013-094). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Building Division and Fire Department Conditions

10. The applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code. The construction plans must meet all applicable State Disabilities Access requirements.
11. Exterior walls located less than three feet from property lines shall be constructed of approved one-hour fire rated assembly with no openings, including vents in accordance with CRC R302.1.
12. Prior to the issuance of building permits, the project plans shall be revised to address the following comment: The project plans specified the skylight as dual pane, which suggests that the skylight is glazed with glass, which is not the case. Acralight is a plastic unit skylight listed under ESR 2415. Per ESR 2415, plastic skylights are not permitted within 6 feet of exterior walls where protected openings are required.

Public Works Conditions

13. County Sanitation District fees shall be paid prior to the issuance of any building permits.
14. All improvements shall be constructed as required by Ordinance and the Public Works Department.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Modification Permit No. MD2013-009
PA2013-094

220 Ruby Avenue

Attachment No. ZA 3

Site Photos



Attachment No. ZA 4

Project Plans

GENERAL NOTES

1. THE "GENERAL CONDITIONS FOR THE CONTRACT CONSTRUCTION" A.I.A. FORM A-201 IS HEREBY MADE PART OF THESE SPECIFICATIONS. THE CONTRACTOR SHALL EXECUTE THE CONTRACT WITH THE OWNER ON AN A.I.A. CONTRACT. CHANGES IN THE WORK SHALL BE ADMINISTERED, AND AGREED TO, PER A.I.A. A-201.
2. FIRE PROTECTION SYSTEM DESIGN, PERMITTING, AND CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. PATCH AND REPAIR ALL SURFACES DISRUPTED OR DAMAGED DURING CONSTRUCTION TO MATCH ADJACENT SURFACE EXACTLY TO THE SATISFACTION OF THE ARCHITECT.
4. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING.
5. THE CONTRACTOR SHALL PROVIDE STAKING. PART OF STAKING SHALL INCLUDE CHECKING FINISH FLOOR, ROSE AND GRADE HEIGHTS. THIS WORK SHALL BE DONE PRIOR TO STARTING CONSTRUCTION. IF A DISCREPANCY OR CONFLICT BETWEEN THE FINISH FLOOR, ROOF OR GRADE HEIGHTS AND THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY AND BEFORE PROCEEDING WITH ANY OF THE WORK SO INVOLVED. OTHER 2-ND FLOOR HEIGHTS SHOWN ON THE ELEVATIONS, SECTIONS OR ROOF PLAN RELATIVE TO A SURVEY. THE GENERAL CONTRACTOR SHALL SURVEY THE ROSE PRIOR TO SETTING RAFTERS OR SHEATHING. REPORT INFORMATION TO THE ARCHITECT IN WRITING PRIOR TO SETTING RAFTERS OR SHEATHING. ACCOUNT FOR ROOFING THICKNESS IN THE SURVEY HEIGHT. ARCHITECTURAL DRAWINGS INDICATE TOP OF SHEATHING.
6. THE CONTRACTOR SHALL VERIFY AND REPORT TO THE ARCHITECT, PRIOR TO BIDDING & POST-TENSION CONCRETE SLAB OCCURS IN EXISTING CONSTRUCTION.
7. THE CONTRACTOR SHALL VERIFY ALL ALLEGATIONS WITH THE ARCHITECT.
8. TO PREVENT THE CONTRACTOR FROM EXCEEDING THE REQUIRED VENTILATION AS INDICATED ON THE DRAWINGS AND SHALL EXCEED BUILDING CODE REQUIREMENTS TO MITIGATE THE POTENTIAL FOR MOLD, THE CONTRACTOR SHALL PROVIDE A LINE ITEM \$80 COST FOR MOLD TREATMENT AND MITIGATION PRIOR TO COVERING THE FRAMING. THE CONTRACTOR SHALL KEEP DRY AND VENTILATE ALL BUILDING MATERIALS.
9. WHERE DEMOLITION OCCURS, THE CONTRACTOR SHALL VERIFY THAT THE EXTENT OF DEMOLITION DOES NOT IMPACT THE PERMITS. WHERE EXISTING NON-COMFORMING CONSTRUCTION EXISTS, UNDER NO CIRCUMSTANCES SHALL ANY WORK BE DEMOLISHED WITHOUT PRIOR NOTIFICATION AND APPROVAL OF THE ARCHITECT. OWNER AND APPLICABLE AGENCIES. WHERE EXISTING ROTTER OR DAMAGED MATERIAL SHALL NEEDS TO BE REPLACED NOTIFY THE ARCHITECT AND OWNER PRIOR TO REMOVAL OF ANY MATERIAL.

CODES

1. ANY CONFLICT BETWEEN CODES AND THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY AND BEFORE PROCEEDING WITH ANY OF THE WORK SO INVOLVED.
2. THIS PROJECT SHALL COMPLY WITH THE C.B.C. SECURITY PROVISION 100A.3, 101A.4, 107.1.1, 107.12, 101B.6, 100S.8.1, 310.4.
3. THIS PROJECT SHALL COMPLY WITH CALIFORNIA ENERGY CONSERVATION STANDARDS FOR NON-RESIDENTIAL BUILDINGS OR RESIDENTIAL BUILDINGS FOR A RESIDENCE.

DRAWINGS AND SPECIFICATIONS

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO STARTING WORK. THE CONTRACTOR SHALL MAKE AND ADD ALL CORRECTIONS NECESSARY DUE TO INSUFFICIENT FIELD VERIFICATION AT HIS OWN EXPENSE.
2. ANY OMISSIONS OR DISCREPANCIES OF THE DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY OF THE WORK SO INVOLVED. THE CONTRACTOR OR OWNER SHALL NOT PROCEED WITH ANY WORK UNTIL THESE ITEMS ARE RESOLVED. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY SUBSEQUENT CONDITIONS, DRAWING AND MATERIAL SPECIFICATIONS ARE INTENDED TO SHOW AND DESCRIBE DETAILS FOR A COMPLETE BUILDING. THE CONTRACTOR SHALL EXECUTE PARTS AND DETAILS EVEN WHEN NOT FULLY SHOWN OR DESCRIBED. THE CONTRACTOR SHALL EXECUTE NOT FULLY SHOWN OR DESCRIBED PARTS AND DETAILS ACCORDING TO STANDARD AND CUSTOMARY TRADE PRACTICE AND IN SIMILAR MANNER AND SPIRIT OF DETAILS WHICH ARE SHOWN AND DESCRIBED IN SPECIFICATIONS.
4. IF DETAILS ARE CONSIDERED UNSOUND, UNSAFE, NOT WATERPROOF, OR NOT WITHIN CUSTOMARY TRADE PRACTICE, NOTIFY THE ARCHITECT IMMEDIATELY. IF WORK IS PERFORMED, IT WILL BE ASSUMED THAT NO OBJECTION IS MADE TO THE DETAIL.
5. ANY DEVIATION FROM THE CONSTRUCTION DOCUMENTS OR SPECIFICATIONS BY THE OWNER OR CONTRACTOR WITHOUT THE ARCHITECT'S APPROVAL, RELEASES THE ARCHITECT OR RESPONSIBILITY AND LIABILITY OF ALL WORK SO INVOLVED. THE ARCHITECT IS NOT RESPONSIBLE FOR CONTRACTORS' NON-COMPLIANCE WITH CONTRACT DOCUMENTS.
6. THESE DRAWINGS AND/OR SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT. RE-USE, REPRODUCTION OF ANY KIND, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT, IS PROHIBITED.

LIENS AND INSURANCE

1. THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER (AND CLIENT WHEN APPLICABLE) WITH CERTIFIED WAIVER OF LIENS AND CERTIFIED WAIVER OF LIENS BY ALL SUBCONTRACTORS AND SUPPLIERS.
2. THE CONTRACTOR SHALL PROVIDE WORKERS' COMPENSATION INSURANCE, COMPREHENSIVE BODILY INJURY, FIRE INSURANCE, AND PROPERTY DAMAGE LIABILITY INSURANCE FOR THE DURATION OF THE PROJECT.
3. PROTECT AND HOLD HARMLESS THE OWNER (AND CLIENT WHERE APPLICABLE) AND HIS REPRESENTATIVES, ARCHITECTS, AGENTS, ASSIGNS, CONSULTANTS, EMPLOYEES, AND OFFICERS FROM ANY LIABILITY WHAT-SO-EVER INCLUDING ATTORNEY'S FEES AND EXPENSES, FROM ANY INJURY TO ANY PERSON, OR PERSONS, OR PROPERTY UNTIL COMPLETION OF THE PROJECT.
4. LIMIT OF ARCHITECT'S LIABILITY: THE OWNER (OR CLIENT WHEN APPLICABLE) AND CONTRACTOR RECOGNIZE THE INHERENT RISKS CONNECTED WITH CONSTRUCTION AND AGREE TO LIMIT ANY AND ALL LIABILITY, CLAIM FOR DAMAGES, COST OF DEFENSE, AND EXPENSES TO BE LEVIED AGAINST THE ARCHITECT ON ACCOUNT OF A DESIGN DEFECT, ERROR, OMISSION, OR PROFESSIONAL NEGLIGENCE TO A SUM NOT TO EXCEED THE AMOUNT OF THE ARCHITECT'S FEE.
5. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ALL ACCUMULATIONS OF WASTE MATERIAL OR RUBBISH CAUSED BY HIS EMPLOYEES OR SUBCONTRACTORS. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL REMOVE ALL RUBBISH, DEBRIS, EQUIPMENT AND SURPLUS MATERIALS FROM IN AND ABOUT THE PROJECT AND LEAVE THE WORK "BROOM CLEAN".
2. THE CONTRACTOR SHALL VISIT THE SITE AT LEAST ONCE PRIOR TO SUBMITTING A BID.
3. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF UTILITY SERVICES IN THE AREA TO BE EXCAVATED PRIOR TO ALL EXCAVATION. THE CONTRACTOR SHALL REPAIR ALL DAMAGED UTILITIES DUE TO FAULTY VERIFICATION.
4. THE CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS ACCORDING TO FIRE DEPARTMENT REQUIREMENTS.
5. THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, LICENSES, CONSTRUCTION TAGS, AND FEES REQUIRED BY CITY, COUNTY, AND STATE LAWS, EXCEPT GENERAL BUILDING PLAN CHECK FEE WHICH WILL BE PAID FOR BY THE OWNER (OR CLIENT WHEN APPLICABLE). THE CONTRACTOR SHALL INCLUDE ALL THE ABOVE IN CONSTRUCTION.
6. THE GENERAL CONTRACTOR WILL INFORM THE ARCHITECT ONE WEEK PRIOR TO FINAL INSPECTION FOR THE ARCHITECT TO VISIT THE SITE AS PART OF THE CONTRACT.
7. THE CONTRACTOR SHALL NOT USE ARROW TRUSS, CO. IN UPLAND, CA FOR TRUSS REQUIREMENTS

SYMBOLS

- DOORS
1. SEE SCHEDULE FOR DOOR SIZES, FEATURES, MANUFACTURER AND DETAILS. FRONT DOORS SHALL MAINTAIN 2" CLEAR IN OPEN POSITION. CRC R311.2.
 2. FOR RESIDENTIAL PROJECTS, DOORS AND FRAMES FROM 1-HOUR RATED GARAGE TO HOUSE WALLS SHALL BE RATED NOT LESS THAN 20 MINUTE SMOKE CONTROL ASSEMBLY. THE SEPARATION MAY BE LIMITED TO THE INSTALLATION OF MATERIALS APPROVED FOR 1-HOUR FIRE RESISTIVE CONSTRUCTION ON THE GARAGE SIDE AND A SELF-CLOSING, TIGHT FITTING, 1-3/8" SOLID CORE WOOD DOOR, STEEL HONEYCOMB-CORE DOOR, OR A DOOR HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES IS PERMITTED IN LIEU OF 1-HOUR ASSEMBLY. DOORS SHALL BE SELF-CLOSING AND LATCHING. PER CRC R302.2.1
 3. ALL EXTERIOR DOORS SHALL BE WEATHER STRIPPED AT THE HEADS, JAMBS AND SILLS.
- WINDOWS
1. SEE SCHEDULE FOR DOOR SIZES, FEATURES, MANUFACTURER AND DETAILS.
 2. ALL GLASS ADJACENT TO DOORS AND WINDOWS WITHIN 18 INCHES OF WALLING SURFACES SHALL BE FULLY TEMPERED.
 3. ALL WINDOWS SHALL COMPLY WITH ANSI-S-134.1. ALL DOORS SHALL COMPLY WITH ANSI-S-134.2-1972.
 4. ALL GLASS SHALL COMPLY WITH APPLICABLE FEDERAL CONSUMER SAFETY LAWS.
 5. EGRESS, ALL BEDROOMS SHALL HAVE EMERGENCY RESCUE WINDOWS OR DOORS.
 6. A. A MINIMUM 5.7 S.F. (5.0 S.F. IS ACCEPTABLE AT GRADE LEVEL); CRC R310.1.1 EXCEPTION B. MINIMUM NET CLEAR OPENING WIDTH 20 INCHES. C. MINIMUM NET OPENING HEIGHT 24 INCHES D. MAXIMUM WINDOW SILL HEIGHT OF 44 INCHES ABOVE FLOOR. THERE SHALL BE CLEAR ACCESS FROM EMERGENCY ESCAPE OPENING TO A PUBLIC WAY. VERIFY ALL WINDOWS PRIOR TO ORDERING.
 6. **ALL TEMPERED GLASS SHALL BE ETCH MARKED**
- STAIRS
1. STAIRS SHALL BE PER CRC R311.7.2. SEE PLAN FOR RISE AND RUN. 1/4" MINIMUM TREAD AND 7/32" AT WINDING STAIR. 7/16" MINIMUM TREAD - 1/2" FROM INSIDE OF STAIR MAINTAIN 10" TREAD AT WALK LINE PER CRC R311.7.2. 1 1/2" DIAMETER HANDRAIL SPACED NOT LESS THAN 1 1/2" FROM WALL, EXTEND HANDRAILS 2' BEYOND TOP AND BOTTOM RISERS WITH ENDS RETURNED TO WALL OR NEWEL POSTS PER PLAN. HEADROOM CLEARANCE 6'-8" MINIMUM VERTICAL DIMENSION ENCLOSED (USABLE SPACE UNDER) STAIR SHALL BE PROTECTED WITH 7/8" OYP. BOARD MIN.
 2. GUARDRAILS SHALL BE 42" ABOVE FINISH FLOOR. INTERMEDIATE PICKETS SHALL BE SPACED SUCH THAT A SPHERE 4" IN DIAMETER CAN NOT PASS THROUGH. CRC R312.2 EXP 2 EXCEPT THAT ON SIDES OF A STAIR THE PICKETS MAY BE SPACED SUCH THAT A SPHERE 4-3/8" MAY NOT PASS THROUGH.
- ATTIC VENT AND ACCESS. WHEN ATTIC OCCURS WITH 30" MINIMUM HEADROOM, PROVIDE AN ATTIC ACCESS 22"x30" (20"x30" WHERE A FALL OCCURS) LOCATED IN A CORRIDOR HALLWAY OR OTHER READILY ACCESSIBLE LOCATION.
- PREMANUFACTURED FIREPLACE WITH FLUE AND SPARK ARRESTOR BY "HEATLATOR", "LENNOX", OR "SUPERIOR". UL REPORT #147, OR EQUAL, PROVIDE FIREPLACE HEARTH PER MANUF. & CODE. DESK METAL PREMANUFACTURED FIREPLACES. INSTALL PER ICC REPORT ESR #2542.
- SKYLIGHTS. SKYLIGHTS SHALL BE MANUFACTURED BY AQUALITE. DUAL-PANE SKYLIGHT WITH ELECTRICAL OPERATION. INSTALL PER ESR-2415 AND MANUFACTURER RECOMMENDATIONS.
- HARDWIRED SMOKE DETECTOR w/BATTERY BACKUP -ALL BEDROOMS AND CORRIDORS/ROOMS LEADING TO BEDROOMS. BATTERY OPERATED SMOKE DETECTOR ACCEPTABLE IN EXISTING CONSTRUCTION. CARBON MONOXIDE DETECTOR - HARDWIRED U.N.D. - LOCATE NEAR BEDROOMS & AWAY FROM GAS APPLIANCES AS PER MANUF.'S RECOMMENDATIONS.
- PROPERTY LINE
CENTER LINE
SETBACK LINE OR HIDDEN LINE
BENCH MARK
- DOOR DESIGNATION
WINDOW DESIGNATION
DETAIL REFERENCE
- AIR CONDITIONING CONDENSER AS OCCURS. PROVIDE 1/2 BEER CARRIER EQUIPMENT ONLY. COMPLY WITH SOUND REQUIREMENTS.
- BATHROOM SINK. PROVIDE FULL HEIGHT POLISHED PLATE MIRROR. UNLESS NOTED OTHERWISE, SEE INTERIOR ELEVATIONS WHERE PROVIDED.
- SECTION REFERENCE
REVISION

TYPICAL MATERIAL SPECIFICATIONS

- WATERPROOFING, EXTERIOR WALL COVERING AND ROOFING
1. SEE PLANS AND ELEVATIONS FOR MATERIAL SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN A COPY OF ALL PRODUCT INSTALLATION SPECIFICATIONS, ICC AND UL REPORTS AND HAVE THEM AVAILABLE ON SITE.
 2. AT BELOW GRADE WATERPROOFING (W/P) OCCURS PROVIDE "MIRACLAP" AS MANUFACTURED BY CARLISLE COATINGS AND WATERPROOFING (COW) 527-7092. BENTONITE CLAY WATERPROOFING MEMBRANE. INSTALL COW "MIRADRAIN" BACK FILL PROTECTION PRIOR TO BACK FILL. A MANUFACTURER'S REPRESENTATIVE SHALL RESPECT THE FLASHING AND ROUGH WORK PRIOR TO INSTALLATION. INSTALL PER MANUF. REPRESENTATIVE RECOMMENDATIONS.
 3. WHERE DECK WATERPROOFING OCCURS PROVIDE "DOKO-TEX INTERNA, LTD." (DOKO-TEX- WEATHERWEAR. DOKO-TEX RUBBER CEMENT TRAFFIC SURFACE (FABRIC REINFORCED LATEX MEMBRANE Q' SLIP SHEET Q' 2 LAYERS PLYWOOD SUBFLOOR. (213) 636-0561. MINIMUM SLOPE OF DECK SHALL BE 1/4" PER 1 FOOT. ICC REPORT ESR# 1757
 4. FLASHING. PROVIDE FLASHING PER SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA) RECOMMENDATIONS. (714) 547-1921. PROVIDE FLASHING AT VALLEYS, SKYLIGHT AND CHIMNEY PENETRATIONS. -PART TO MATCH ADJACENT ROOFING.
 5. ATTIC VENT. PROVIDE ATTIC VENTILATION AT A RATE OF 1/150 OF THE ATTIC AREA AT THE EAVES. ATTIC VENTS SHALL BE CORROSION RESISTIVE MATERIAL NOT LARGER THAN 1/4" SQUARE TO PREVENT VERMINIT AND INSECTS FROM ENTERING THE ATTIC. PER UBC, CRC 1305.3 VENTILATION, EXCEPTION 1. THE OPENING AREA MAY BE 1/300 OF THE AREA OF THE SPACE VENTILATED PROVIDED 50 PERCENT OF THE REQUIRED OPENING AREA IS PROVIDED BY VENTILATION LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET (914mm) ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
 6. SKYLIGHTS. SKYLIGHTS SHALL BE MANUFACTURED BY AQUALITE ESR-2415. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
 7. ROOFING. ROOFING SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURERS RECOMMENDATIONS. INSTALL OVER ROOFING FELT.
 8. BLDG PAPER. PROVIDE WEATHER RESISTANT BARRIER DUPONT "TYVEK" HOMEWRAP UNDER ALL EXTERIOR WALL COVERING. PER CRC. PROVIDE DUPONT "TYVEK" WHERE "BUILDING PAPER IS INDICATED ON THE PLANS AND DETAILS. INSTALL PER ER-4000. PROVIDE FLASHING AND SEALANT AROUND ALL EXTERIOR OPENINGS.
 9. PRESSURE TREATED LUMBER. UNLESS NOTED OTHERWISE PTDF SHALL BE "PRESERVE" ARSINIC AND CHROMIUM FREE AS MANUFACTURED BY CHEMICAL SPECIALTIES INC. (CS, INC.) (800) 421-8661 EXPOSED EXTERIOR WOOD SHALL BE "PRESERVE PLUS" TREATED WITH ACO PRESERVE/FAIR AS MANUFACTURED BY CS, INC. ALL FASTENERS EXPOSED TO WEATHER SHALL BE CORROSION RESISTANT
 10. FLASHING AROUND WINDOWS SHALL BE SELF-ADHESIVE "PROTECTOWRAP" FLASHING MEM. OR EQUAL. INSTALL PER ESR-1825, WHERE "SISAKRAFT", "BUTTHERM" OR OTHER FIBRE REINFORCED PAPER IS INDICATED AT OPENINGS USE "PROTECTOWRAP" TYPICAL.
 11. ALL EXTERIOR GLASS SHALL BE LOW E.
 12. WATERPROOFING MEMBRANE BELOW TILE SHALL BE LATICRETE 9235 WATERPROOF MEMBRANE. INSTALL PER ESR-1056 AND MANUFACTURERS RECOMMENDATIONS. ALL INSTALLERS SHALL HAVE A MINIMUM 10 YEARS EXPERIENCE. INSTALL PER MANUFACTURERS RECOMMENDATIONS. THE GENERAL CONTRACTOR SHALL MAKE AN APPOINTMENT FOR THE OWNERS, OWNERS REPRESENTATIVE, MANUFACTURER, GENERAL CONTRACTOR AND INSTALLER TO DISCUSS INSTALLATION DETAILS PRIOR TO COMMENCING WITH WORK. SUBSTRATE / PLYWOOD SHEATHING MUST BE SLOPED TO DRAIN MIN. 1/4" PER FOOT.
 13. WHERE EXTERIOR PAINTED WOOD TRIM IS USED PROVIDE WINDOW ONE: 7650 REDWOOD DRIVE #4 COTANT, CA 94931. 707-665-9663 INSTALL PER WINDOW ONE "EXTERIOR TRIM MANUAL".

FEMA ANALYSIS

CITY POLICY: N.B.M.C. 15.50.050

220 RUBY, BALBOA ISLAND
BUILT 1984
APN: 050-092-04

EXISTING:
HABITABLE SPACE: 2382 S.F. X 166 /SF = \$395,412
GARAGE: 359 S.F. GARAGE X 80 /SF = \$28,720
TOTAL VALUATION = \$424,132
FEMA DEPRECIATION = VALUE X FEMA 38% DEPRECIATION = (\$161,170)
DEPRECIATED VALUE = \$424,132 - \$161,170 = \$262,962 CURRENT VALUE

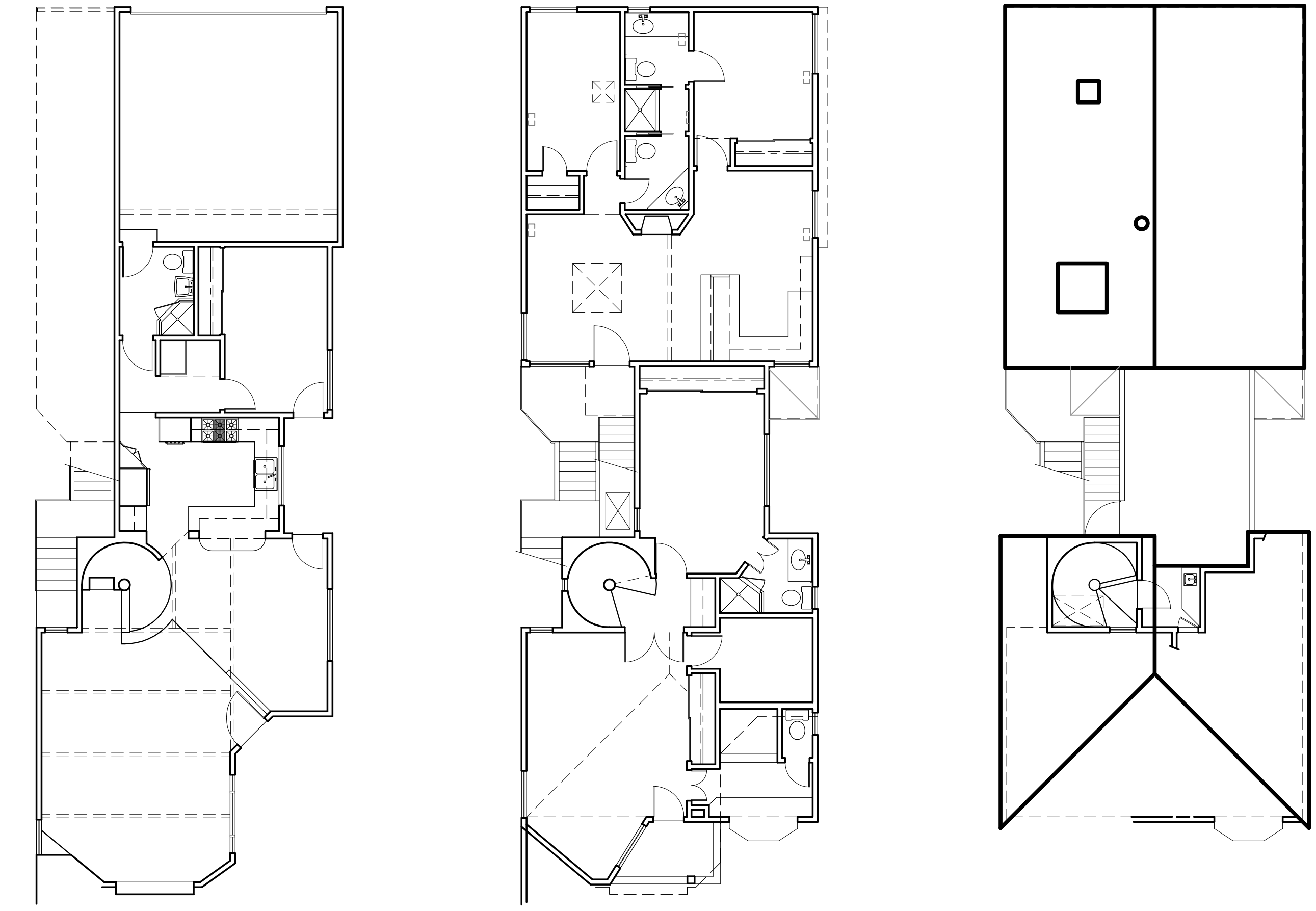
\$262,962 / 2 = \$131,481 MAX. (HALF OF CURRENT VALUE)

ADDITION: 86 S.F. X \$166 /SF \$14,276
REMODEL: 380 SF X \$80/SF \$30,400
TOTAL \$44,676 < \$131,481

THEREFORE, REBUILD TO COMPLY WITH FEMA FLOOR HEIGHT NOT REQUIRED.

FEMA ELEVATION CERTIFICATION

NOTE TO GENERAL CONTRACTOR:
A LICENSED SURVEYOR SHALL COMPLETE FEMA ELEVATION CERTIFICATE AND SUBMIT IT TO THE BUILDING DEPARTMENT INSPECTOR DURING FINAL INSPECTION.



EXISTING FIRST FLOOR PLAN
(FOR REFERENCE)

EXISTING SECOND FLOOR PLAN
(FOR REFERENCE)

EXISTING ROOF PLAN
(FOR REFERENCE)

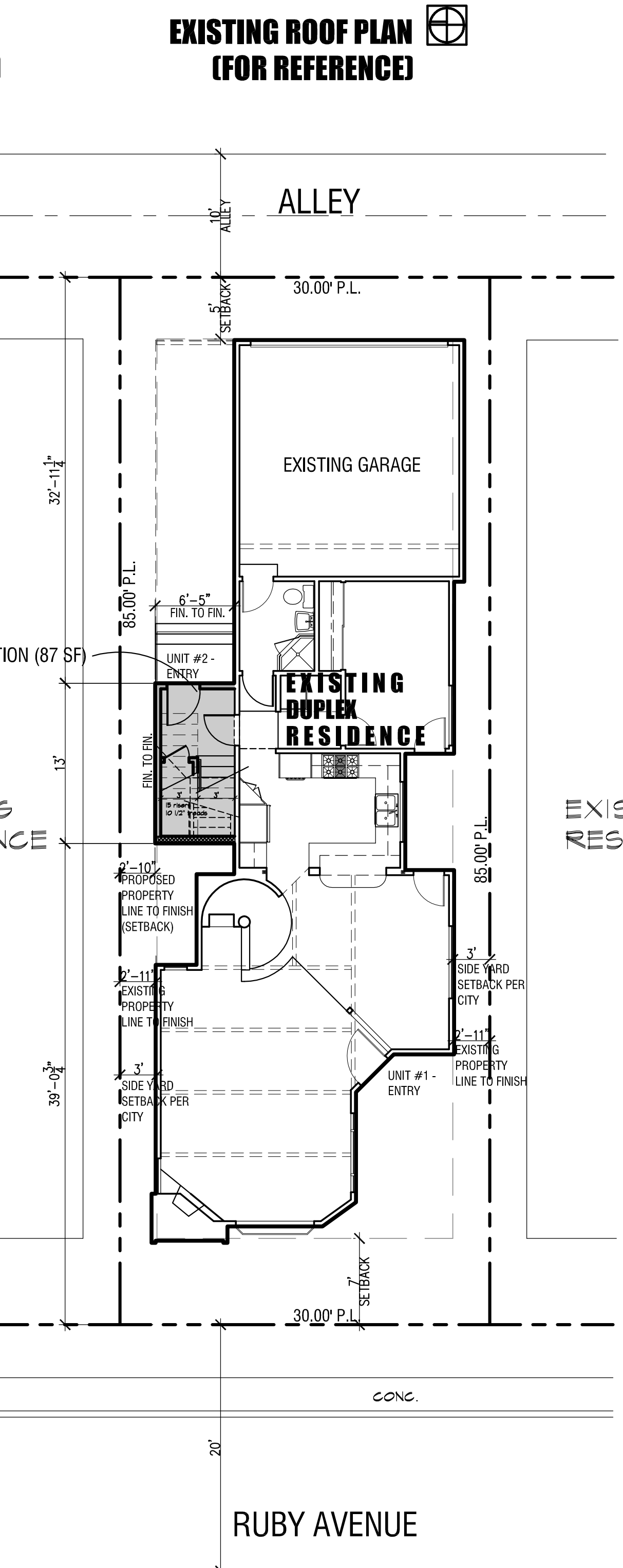
ZONING MODIFICATION REQUEST

Project Description and Justification:

The proposed project includes the addition of a stairwell (87 sf) (at the location of an existing exterior stair to be removed) to an existing two-story duplex residence. The Owners wish to increase the use of their house as a place where their extended family can visit with enclosed access between the two units. Enclosing the stair, however, requires meeting several code parameters:

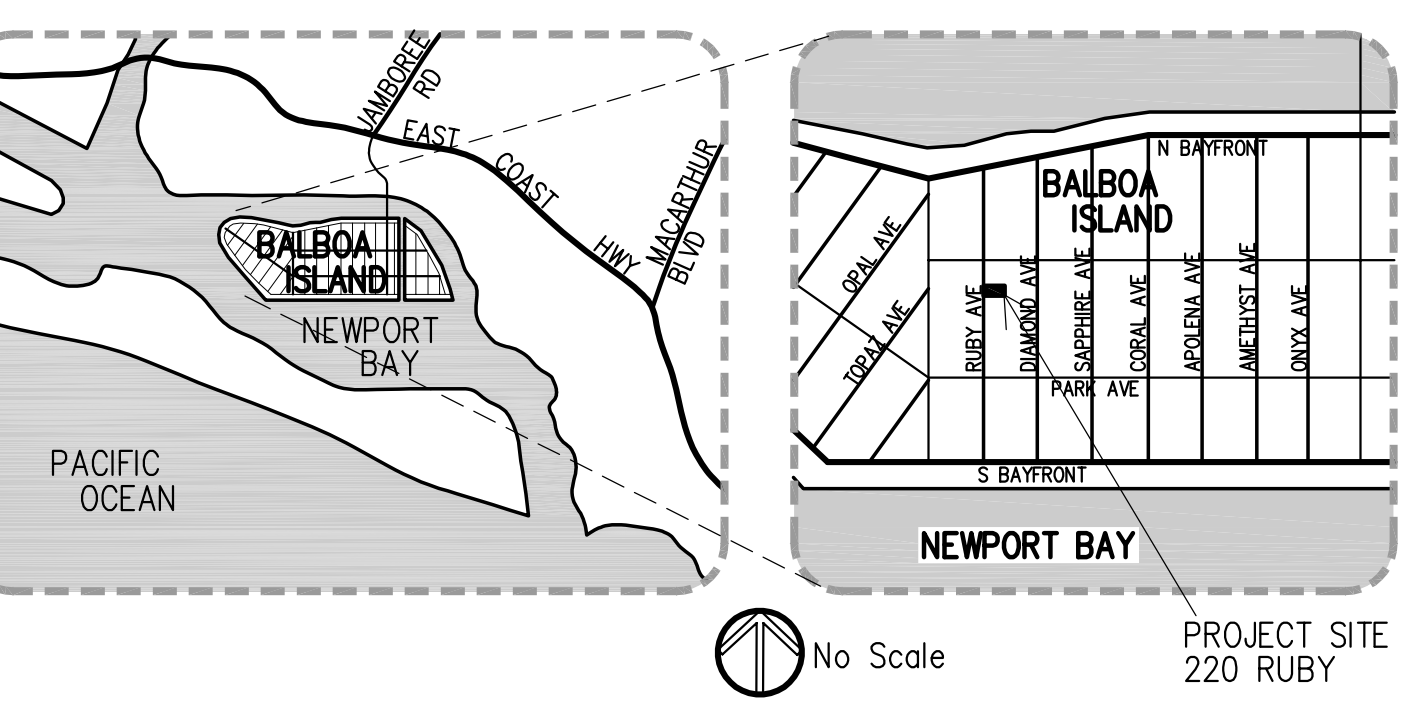
The addition must comply with the FEMA height level.
We have added a step up from the existing house to the addition. The addition must be under 87 sf, so as not to exceed the allowable square footage of the building.
The addition wall adjacent to the property line must be one-hour rated.
The wall between the kitchen and the enclosed stair must also be one-hour rated and sound-rated.
The stair must have 36" clear travel width.

In order to meet all these parameters, we are requesting a Modification to the side yard setback. The existing building was built when City code required the 3 ft setback to be to the stud/concrete footing and not the finish. Consequently, the existing house has a 2'-11" side yard setback. For this Modification we are asking for a 2'-10" setback that will allow us to meet all of the above criteria. This is only 1" more than existing.



SITE PLAN

VICINITY MAP



OWNER

LARRY SMITH
220 RUBY AVENUE
NEWPORT BEACH, CA 92662
TEL: (949) 675-9012

ARCHITECT

TEALE ARCHITECTURE
2900 BRISTOL ST., BLDG A, SUITE 203
COSTA MESA, CA 92626
TEL: (949) 975-0123
FAX: (949) 274-4833

MARK TEALE . ARCHITECT C-22162

CONTRACTOR

NOT YET SELECTED

STRUCTURAL ENGINEER

GOLVIS ENGINEERING
4400 CAMPUS DRIVE
NEWPORT BEACH, CA 92660
TEL: (949) 752-1612
FAX: (949) 752-5321

SHEET INDEX

- A-1 SITE PLAN, PROJECT DATA, GENERAL NOTES
- A-2 FIRST FLOOR PLAN, SECOND FLOOR PLAN, ROOF PLAN, AND DOOR & WINDOW SCHEDULES
- A-3 EXTERIOR ELEVATIONS
- A-6 AREA CALCULATIONS

PROJECT DESCRIPTION

ADDITION OF A STAIRWELL (80F) (AT THE LOCATION OF AN EXISTING EXTERIOR STAIR TO BE REMOVED) TO AN EXISTING 2-STORY DUPLEX RESIDENCE. EXISTING ROOF DECK TO BE ENCLOSED WITH A NEW ASPHALT SHINGLE ROOF TO CREATE ATTIC SPACE. REMODEL PORTION OF PROJECT TO INCLUDE SECOND FLOOR AREAS: MASTER BATH, BATH 3, LIVING ROOM 2, AND KITCHEN 2.

CODES

ALL WORK AND MATERIALS SHALL CONFORM STRICTLY TO THE 2010 C.R.C., 2010 C.P.C., 2010 C.M.C., 2010 C.E.C., 2010 C.B.C., 2008 BEES (CA ENERGY) AND ALL OTHER FEDERAL, STATE AND LOCAL CODE.

PROJECT DATA

PROJECT DESCRIPTION: A TR 101 BLK 10 LOT 20 U
APN# 050-092-04
ZONE R-B1
OCCUPANCY GROUP R-3/U (GARAGE)
CONSTRUCTION TYPE TYPE VB
PARKING EXISTING TWO CAR GARAGE

AREAS:
220 RUBY (DOWNSTAIRS): 960 SF
220 1/2 RUBY (UPSTAIRS): 1,509 SF

EXISTING 1ST FLOOR 960 S.F.
1ST FLOOR REMODEL FLOOR AREA 0 S.F.
1ST FLOOR ADDITIONAL FLOOR AREA 84 S.F.
TOTAL 1ST FLOOR 1044 S.F. (HABITABLE)

EXISTING 2ND FLOOR 1,422 S.F.
2ND FLOOR REMODEL FLOOR AREA 380 S.F.
MASTER BATH 76 SF
KITCHEN 2 78 SF
BATH 3 55 SF
LIVING ROOM 171 SF
2ND FLOOR ADDITIONAL FLOOR AREA 3 S.F.
TOTAL 2ND FLOOR 1425 S.F. (HABITABLE)

EXISTING GARAGE 359 S.F.
ADDITIONAL GARAGE AREA 0 S.F.

EXISTING DECKS AND BALCONY AREA 284 S.F.
ADDITIONAL DECKS AND BALCONY AREA 0 S.F.
EXIST. DECK TO BE REMOVD FOR NEW STAIR(-48 S.F.)
EXIST. DECK TO BE CONVERTED TO ATTIC (-199 S.F.)

TOTAL HABITABLE AREA 2,469 S.F.
TOTAL DECK AREA 37 S.F.
TOTAL GARAGE AREA 359 S.F.

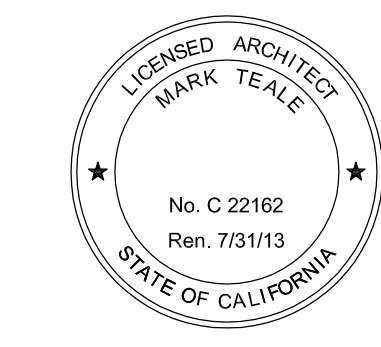
GARAGE + HABITABLE AREA 2,828 S.F. (=2,828 S.F. MAX)

BUILDABLE AREA: 1,752 S.F.
1,752 x 1.5: 2,628 S.F. + 200 S.F. = 2,828 S.F. MAX.

SITE AREA 2,550 S.F.

2900 Bristol Street
Building A, Suite 203
Costa Mesa, Ca 92626
Tel: 949-975-0123
Fax: 949-274-4833
www.tealearchitecture.com

TEALE ARCHITECTURE



PROJECT
SMITH REMODEL
220 RUBY AVENUE
NEWPORT BEACH, CA 92662
BALBOA ISLAND
...

SHEET
SITE PLAN
PROJECT DATA
GENERAL NOTES

REVISIONS:

CURRENT REVISION:
MODIFICATION PERMIT
2, 4/15/13
Plot Date: 05/30/13
START DATE: 1/12/12
SCALE: 1/8" = 1'-0"
SHEET

A-1

ROOF VENT

REQUIRED ROOF VENTILATION - SEE CALCS
ROOF VENT(S) CHANGING TAPERED ROOF VENT 72.00 SQ. IN. F.A.M.
LOWER: GALV. STEEL - PAINT TO MATCH ROOFING, BACKED WITH 1/4" MESH GALV. WIRE CLOTH

REQUIRED ROOF VENTILATION

NOTE:
ROOF VENTS FOR VENTILATION AT THE UPPER PORTION OF THE SPACE SHALL BE INSTALLED AT LEAST 3 FEET (914mm) ABOVE EAVE OR CORNICE VENTS.

REQUIRED NET FREE VENTILATING AREA:

ATTIC SQ. FT. 303.500 = 1.01 S.F. (144 SQ.IN.) VENT AREA REDO

NET FREE VENTILATING AREA AT UPPER PORTION OF THE SPACE:

CONTRACTOR TO PROVIDE A INSTALL TWO (2)

ROOF VENT(S) CHANGING TAPERED VENT 72.00 SQ. IN. F.A.M.

TOTAL ROOF VENT VENTING: 144 SQ. IN.

NET FREE VENTILATING AREA AT LOWER PORTION OF THE SPACE:

CONTRACTOR TO PROVIDE A INSTALL TWO (2)

ROOF VENT(S) CHANGING TAPERED VENT 72.00 SQ. IN. F.A.M.

TOTAL ROOF VENT VENTING: 144 SQ. IN.

ROOF VENT: CORROSION RESISTANT METAL - PAINT TO MATCH ROOFING

BACKED W/ 1/4" MESH GANVIZED WIRE CLOTH, 1/8" MIN. OPENING

UPPER: 144 SQ. IN. = 50% OF REDO VENTING

LOWER: 144 SQ. IN. = 50% OF REDO VENTING

TOTAL VENTING 288 SQ. IN. PROVIDED > 144 SQ. IN. REQ.

ROOF VENTS SUPPLIED BY:

OHAGINS, INC.

Corporate Office & West Coast Mfg. Facility

210 Classic Court, Suite 100, Robert Park, California 94928

Phone: 707/303-3860

Toll Free Phone: 800/394-3864

www.OHAGINVENT.com

CRC R806.2 ROOF VENTILATION - MINIMUM AREA

THE TOTAL NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150

OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE

TOTAL AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 50

PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED

VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER

PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE

EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED

VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

(SEE "GENERAL NOTES - SECTIONS" [SHT A-3] FOR VAPOR BARRIER NOTE)

NOTE TO CONTRACTOR:

ROOF VENTILATION CALCULATIONS PROVIDED HERE SHALL NOT BE USED

FOR ROOFING MATERIAL TAKE-OFFS/CALCULATIONS/ETC.

1. APPROVED ACUSTICAL SEALANT SHALL BE PROVIDED ALONG THE JOINT BETWEEN THE

FLOOR AND THE SEPARATION WALL.

2. ALL PENETRATIONS INTO SOUND-RATED PARTITIONS OF FLOOR-CEILING ASSEMBLIES SHALL

BE SEALED WITH APPROVED PERMANENT RESILIENT SEALANT.

3. ALL FLOOR CONDUIT, DUCTS, PLUMBING PIPES AND APPLIANCE VENTS LOCATED IN SOUND

ASSEMBLIES SHALL BE ISOLATED FROM THE BUILDING CONSTRUCTION BY MEANS OF

RESILIENT SLEEVES, MOUNTS OR MINIMUM 1/4" THICK APPROVED RESILIENT MATERIAL.

(EXCEPTION: GAS PIPING NEED NOT BE ISOLATED.)

4. METAL VENTILATING AND CONDITIONED AIR DUCTS LOCATED IN SOUND ASSEMBLIES SHALL

BE LINED.

5. MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES TO A POINT 12" BEYOND

THE PIPE OR DUCT, WHENEVER A PLUMBING PIPE OR DUCT PENETRATES A FLOOR-CEILING

ASSEMBLY OR WHERE SUCH UNIT PASSES THROUGH THE PLANE OF THE FLOOR-CEILING

ASSEMBLY WITHIN A WALL.

-PROVIDE ALLOWANCES FOR FIXTURES AS NOTED, CONTRACTOR SHALL INCLUDE INSTALLATION

AS A SEPARATE LINE ITEM.

-SUBCONTRACTORS SHALL CALL FOR INSPECTION OF ROUGH BOXES BY INTERIOR DESIGNER,

OWNER OR ARCHITECT 48 HOURS PRIOR TO INSTALLING WIRE AND DUCTING. ELECTRICAL

SUBCONTRACTOR SHALL CONTACT THE ARCHITECT TO VERIFY LTG DESIGN PRIOR TO BIDDING.

-PROVIDE MANUFACTURERS' MODEL NUMBER LISTED OR AN EQUIV.

-ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS

SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S). (SEE E10.12, NOTE THAT

REQUIREMENT IS FOR ENTIRE CIRCUIT, NOT JUST THE OUTLETS.)

ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL OF NOT LESS THAN 1 FOOT CANDLE (11

LUX) AT TREADS AND LANDINGS. CRC R903.6

BATHROOM OUTLETS SHALL BE ON A DEDICATED 20 AMP CIRCUIT

ALL OUTLETS TO BE TAMPER RESISTANT PER CEC 406.11.

SYMBOL DESIGNATION

DUPLEX OUTLET - 12" ABOVE FLOOR, PROVIDE OUTLETS @ 12"-0" c. MAX. &

6'-6" MAX FROM DOOR, 2'-0" c. MAX AT KITCHEN COUNTERS. SEE

"ELECTRICAL SYMBOLS NOTES" ABOVE FOR ARC-FAULT INTERRUPTOR

REQUIREMENTS.

DUPLEX OUTLET - G.F.C.I. SEE "ELECTRICAL SYMBOLS NOTES" ABOVE FOR

ARC-FAULT INTERRUPTOR REQUIREMENTS.

WEATHERPROOF (SWITCH, FIXT. OR OUTLET), PROVIDE ONE W/P RECEPT AT

FRONT OF HOUSE @ EAVE AND ONE AT REAR

SWITCH - 42" ABOVE FLOOR (3 INDICATES 3 WAY)

D = DIMMER, MO = MANUAL ON OCCUPANT SENSOR, PE =

PHOTOELECTRIC CELL W/ MOTION DETECTOR

INCL.TG. - ALL BEDROOMS HABITABLE ROOMS SHALL BE ON DIMMER, ALL

BATH & LAUNDRY SHALL BE FLUORESCENT OR BE ON MANUAL ON SENSOR.

EXTERIOR LTG SHALL BE SWITCHED BY MOTION DETECTOR & PHOTO CELL.

RECESSED CEILING MOUNTED - INTERIOR: 6 1/2" INCANDESCENT HALO H-7

75 W. INCANDESCENT W/BLACK BAFFLE, PROVIDE I.C. RATED FIXTURE

WHERE INSULATION OCCURS.

RECESSED CLG. MOUNTED LIGHT - INT. 4" RECESSED CAN LIGHT W/SLIVER

BAFFLE, HALO LTG H-1498T HOUSING W/BLACK REFLECTOR, 12V 35W

MR-16 LAMP, PROVIDE I.C. RATED FIXTURE WHERE INSULATION OCCURS.

HALO H-7 (H7OPS - SHOWER TRIM)

60 W INCANDESCENT

INTERIOR SHOWER OR EXTERIOR WET LOCATION FIXT.

CEILING MOUNTED LIGHT - INT. 6" RECESSED CAN LIGHT W/BLACK BAFFLE,

PROGRESS LTG P13-TG HOUSING W/ P57-T-31 TRIM, PL LAMP 13 W FL

LAMP (+2 W BALLAST = 15W) FL-15-C, MUST BE PIN BASED.

CEILING MOUNTED LIGHT - INT. PENDANT MOUNTED LIGHT, PROVIDE OUTLET

BOX AND COVER, FIXTURE TO BE SELECTED BY INT. DESIGNER, OR OWNER.

FLUORESCENT FIXTURE - SURFACE MTD. - PRUDENTIAL P1602-48RS H=120,

1x4 2 LAMP FIXTURE, DAMP LOC. AS OCCURS, FL-48-S

WALL MOUNTED LIGHT - INT. PROVIDE JUNCTION BOX AT HEIGHT (APPROX.

80" AFF) VERIFY WITH OWNER, PROVIDE \$100 MATERIAL ALLOWANCE PER

FIXTURE.

WALL MOUNTED LIGHT - EXT. AS SELECTED BY OWNER, FIXT. ALLOWANCE -

\$300.00

EXHAUST FAN/LIGHT COMBO. - ALL FANS SHALL BE BROWN LOW NOISE, LESS

THAN 3 SONES. SEE NOTE BELOW FOR FAN REQUIREMENTS.

EXHAUST FAN - 50 CFM INTERMITTENT OR 25 CFM CONTINUOUS, SHALL

CONNECT DIRECTLY TO THE OUTSIDE, 3 FEET MINIMUM FROM A WINDOW, DOOR

OR OTHER OPENING, ALL FANS SHALL BE BROWN LOW NOISE, PANASONIC OR

EQUAL, DUCTLESS FANS ARE UNACCEPTABLE.

J BOX-REINFORCE-OWNER SUPPLIED FIXT.

SMOKE DETECTOR - HARDWIRED U.N.O. - PROVIDE IN ALL BEDROOMS &

CORRIDORS LEADING TO BEDROOMS, PROVIDE BATTERY BACKUP.

-DETECTORS ARE NOT TO BE LOCATED IN KITCHEN/GARAGE, OR WITHIN 3

FEET FROM DOOR TO KITCHEN OR BATHROOM OR SUPPLY AIR REGISTERS.

DETECTORS SHALL BE INTERCONNECTED TO SOUND AT THE SAME TIME.

SEE "ELECTRICAL SYMBOLS NOTES" ABOVE FOR ARC-FAULT INTERRUPTOR

REQUIREMENTS.

CARBON MONOXIDE DETECTOR - HARDWIRED U.N.O. - LOCATE NEAR BEDROOMS

& AWAY FROM GAS APPLIANCES AS PER MANUF.'S RECOMMENDATIONS

SPEAKER

TV OUTLET

ROOFING

WHERE "ROOFING" IS INDICATED ON THE DRAWINGS PROVIDE:

CERTAINTEED FIBER-GLASS SHINGLES, UL CLASS A

"PRESIDENTIAL SHAKE" ICC-ES ESR-1389

COLOR TO BE SELECTED BY OWNER.

INSTALL PER MANUF. RECOMMENDATIONS

TEL: 1-800-233-8990 WEBSITE: WWW.CERTAINTEED.COM

INSTALL q/2-LAYERS 30# ROOFING FELT

MATERIAL WEIGHT 3.55#/SF

PROVIDE:

CORROSION RESISTANT FLASHING INSTALL PER S.M.A.C.N.A. STANDARDS

24 GA. GALV. STEEL - PAINT TYP. U.N.O.

OR APPROVED EQUAL

NOTE: NEW ROOFING TO MATCH EXISTING

CORROSION RESISTANT SHEET MTL

WHERE INDICATED ON THE DRAWINGS AS "CORROSION RESISTANT SHEET

METAL" THE CONTRACTOR SHALL PROVIDE GALVANIZED STEEL OR 24 GA.

SHEET METAL, PROVIDE BACKPRIME AT DISSIMILAR METALS, INSTALL PER

S.M.A.C.N.A.

BUILT-UP ROOFING - AT SECOND FLOOR

WHERE "BUILT-UP ROOFING" IS INDICATED ON THE DRAWINGS PROVIDE:

CLASS A BUILT-UP ROOFING BY: GAF MATERIALS CORPORATION

CRC ESR-1274

Q/ PLYWOOD SHTG. INSTALL IN STRICT CONFORMANCE WITH

MANUFACTURERS RECOMMENDATIONS. INSTALL CORROSION RESISTANT

METAL FLASHING AS REQ'D PER S.M.A.C.N.A. RECOMMENDATIONS, GRAVEL

COLOR AS SELECTED BY OWNER

SYSTEM NO. 6

SUBSTRATE: COMBUSTIBLE 15/32 INCH PLYWOOD MIN.

MEMBRANE: 1 OR MORE LAYERS OF "RUBEROID TORCH" (SMOOTH OR

GRAVEL), "RUBEROID TORCH PLUS" (GRAVEL), "RUBEROID AC" (

SMOOTH OR GRAVEL), OR "RUBEROID MOP PLUS" (GRAVEL)

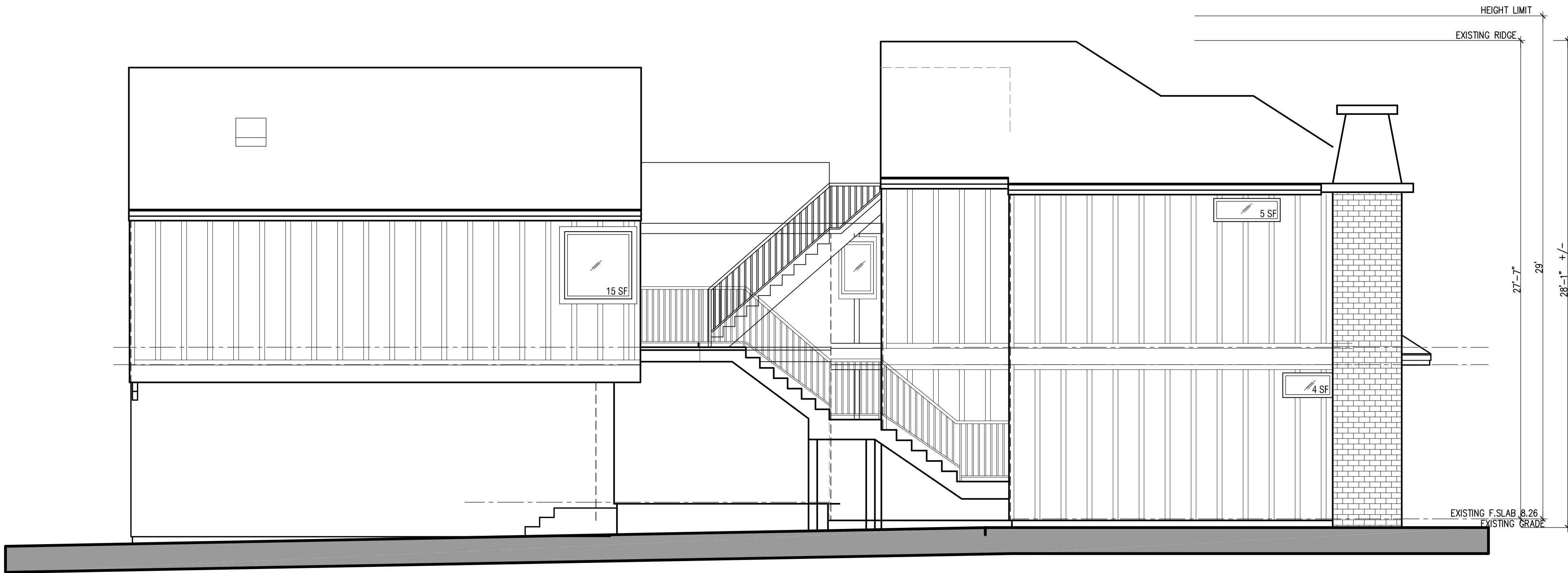
SURFACING/COATING: GRAVEL, 400LBS/SQ LOOSE LAID OR APPLIED IN A

FLOOD COAT OF HOT ROOFING ASPHALT.

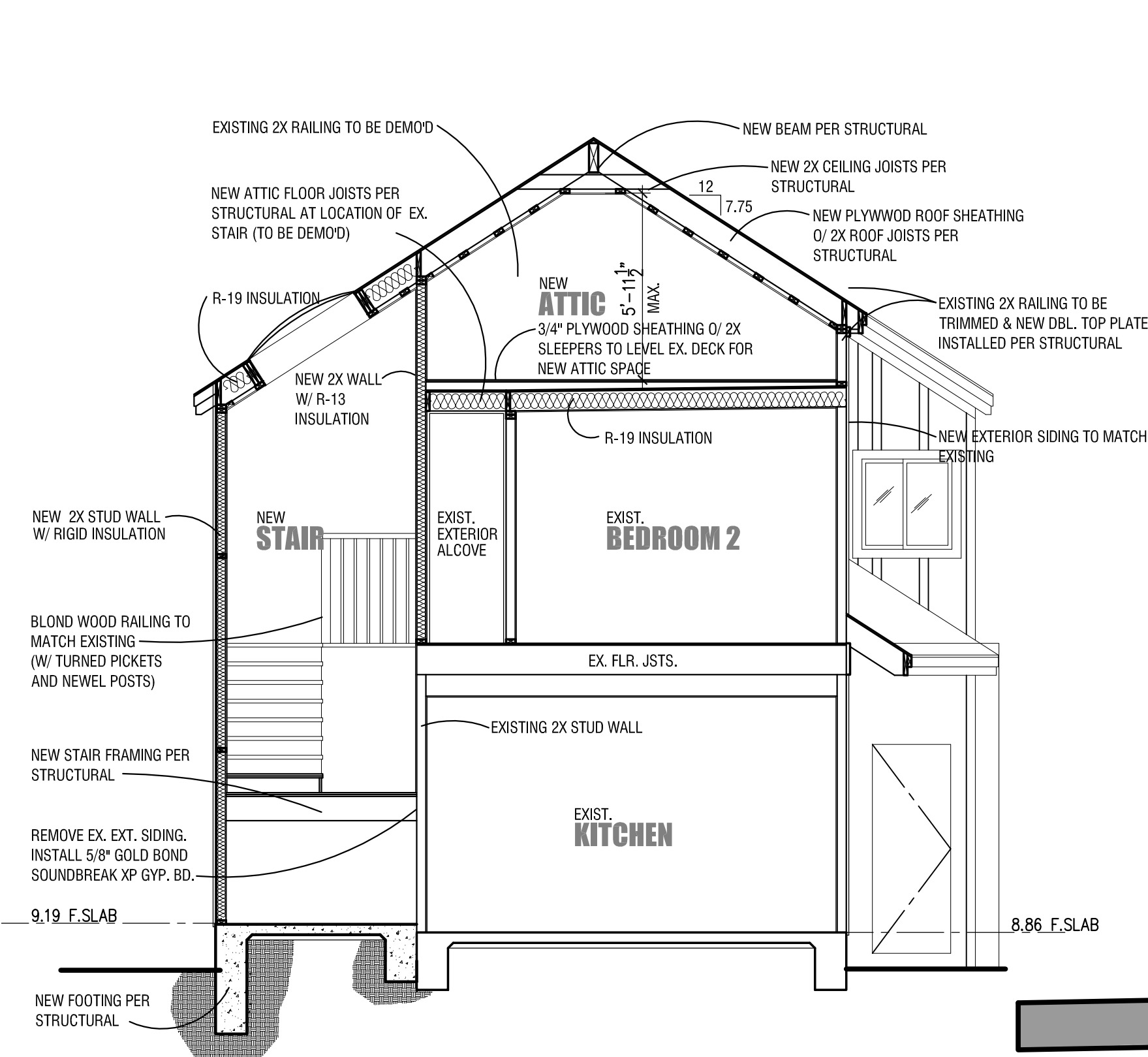
DOOR SCHEDULE											
SYMBOL	WIDTH	HEIGHT	THK.	CORE	LOCATION	TYPE	FINISH / NOTES				
1	3'-0"	6'-8"	1 3/4"	S.C.	STAIR ENTRY	5	1. EXISTING DOOR SHOWN AS REFERENCE ONLY. PLEASE VERIFY IN FIELD. 2. RELOCATE PER PLAN. 3. PAINT NEW DOOR. PROVIDE EXTERIOR OR EQUAL DOOR HARDWARE, STYLE AND FINISH TO BE SELECTED PRIOR TO ORDERING. 4. FACTORY FINISH	FINISH	NOTES		
2	2'-6"	6'-8"	1 3/8"	S.C.	STAIR	6	1. EXISTING DOOR SHOWN AS REFERENCE ONLY. PLEASE VERIFY IN FIELD. 2. RELOCATE PER PLAN. 3. PAINT NEW DOOR. PROVIDE EXTERIOR OR EQUAL DOOR HARDWARE, STYLE AND FINISH TO BE SELECTED PRIOR TO ORDERING. 4. FACTORY FINISH	FINISH	NOTES		
3	2'-0"	6'-8"	1 3/8"	S.C.	CLOSET	7	1. EXISTING DOOR SHOWN AS REFERENCE ONLY. PLEASE VERIFY IN FIELD. 2. RELOCATE PER PLAN. 3. PAINT NEW DOOR. PROVIDE EXTERIOR OR EQUAL DOOR HARDWARE, STYLE AND FINISH TO BE SELECTED PRIOR TO ORDERING. 4. FACTORY FINISH	FINISH	NOTES		
4	---	---	---	---	---	---	---	---	---	---	---
5	---	---	---	---	---	---	---	---	---	---	---
6	2'-4"	5'-8"	---	H.C.	ATTIC	8	1. EXISTING DOOR SHOWN AS REFERENCE ONLY. PLEASE VERIFY IN FIELD. 2. RELOCATE PER PLAN. 3. PAINT NEW DOOR. PROVIDE EXTERIOR OR EQUAL DOOR HARDWARE, STYLE AND FINISH TO BE SELECTED PRIOR TO ORDERING. 4. FACTORY FINISH	FINISH	NOTES		
7	---	---	---	---	---	---	---	---	---	---	---
8	---	---	---	---	---	---	---	---	---	---	---

WINDOW SCHEDULE											
SYMBOL	WIDTH	HEIGHT	THK.	CORE	LOCATION	TYPE	FINISH / NOTES				
1	2'-6"	6'-8"	---	---	---	---	1. EXISTING WINDOW SHOWN AS REFERENCE ONLY. PLEASE VERIFY IN FIELD. 2. RELOCATE PER PLAN. 3. PAINT NEW WINDOW. PROVIDE EXTERIOR OR EQUAL WINDOW HARDWARE, STYLE AND FINISH TO BE SELECTED PRIOR TO ORDERING. 4. FACTORY FINISH	FINISH	NOTES		
2	---	---	---	---	---	---	---	---	---	---	---
3	---	---	---	---	---	---	---	---	---	---	---
4	---	---	---	---	---	---	---	---	---	---	---
5	---	---	---	---	---	---	---	---	---	---	---
6	---	---	---	---	---	---	---	---	---	---	---
7	---	---	---	---	---	---	---	---	---	---	---
8	---	---	---	---	---	---	---	---	---	---	---

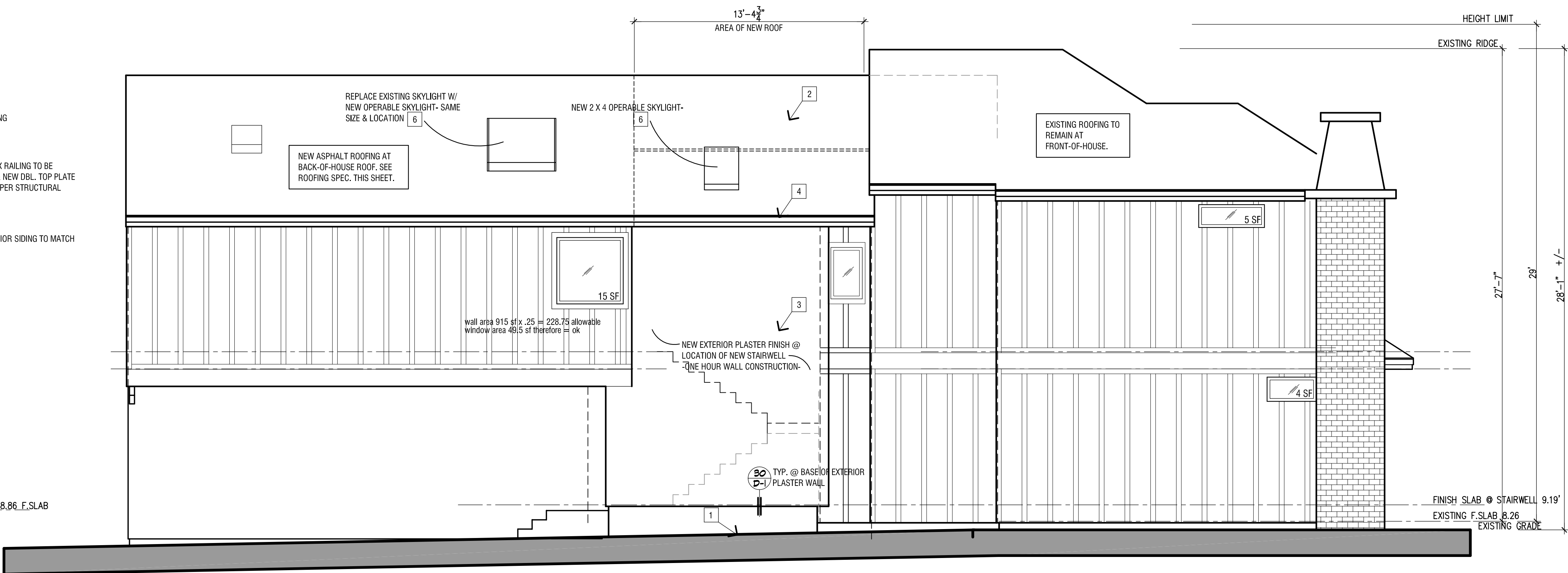
GENERAL NOTES													
1	ALL NEW DOORS WILL BE TO MATCH EXISTING, AS APPROVED BY OWNER.	2	TRIM: UNFINISHED.	3	VERIFY ALL SIZES WITH ARCHITECT PRIOR TO ORDERING.	4	FOR RESIDENTIAL PROJECTS:	5	DOORS AND FRAMES FROM HOURS RATED GARAGE TO HOUSE WALLS SHALL BE RATED NO LESS THAN 20 MINUTE SMOKE CONTROL ASSEMBLY. (THE SEPARATION MAY BE LIMITED TO THE INSTALLATION OF MATERIALS APPROVED FOR 1-HOUR FIRE RESISTIVE CONSTRUCTION ON THE GARAGE SIDE AND A SELF-CLOSING, TIGHT FITTING, 1/2" SLOPE CORE WOOD DOOR STYLING, KNOCKOUT/CAMB-ONE DOOR, OR A DOOR HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES IS PERMITTED IN LIEU OF 1-HOUR ASSEMBLY. DOORS SHALL BE SELF-CLOSING AND LATCHING PER CRC R802.1	6	TEMPERED GLASS: VERIFY WITH SCHEDULE. SAFETY GLASS IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. LAMINATED OR WIRE GLASS TO BE USED WHERE THERE IS ANY CONFLICT IN THESE REQUIREMENTS. THANK YOU.		
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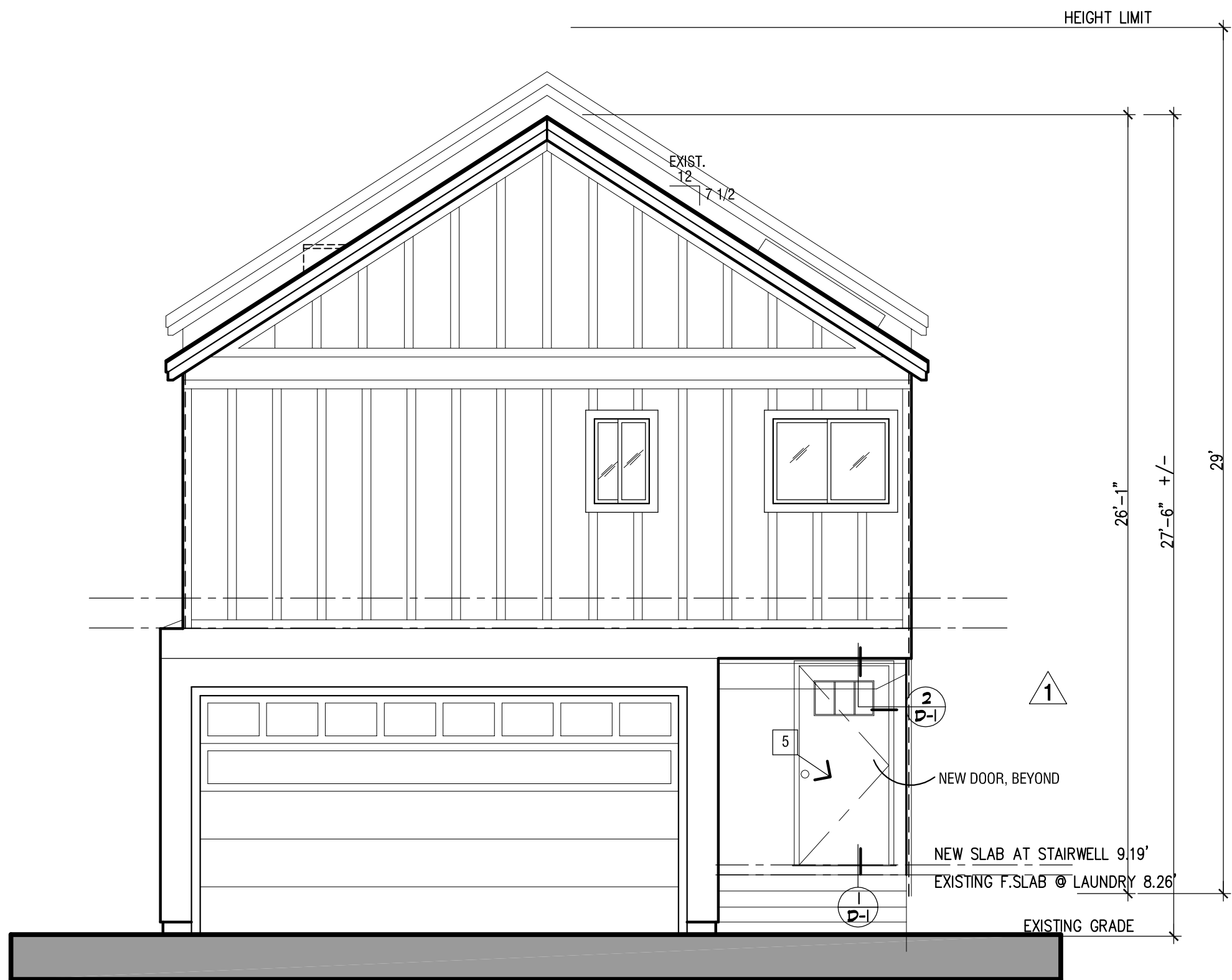
EXISTING - LEFT SIDE ELEVATION



SECTION C-C



PROPOSED - LEFT SIDE ELEVATION



REAR ELEVATION - EXISTING



FRONT ELEVATION - EXISTING

KEY NOTES - ELEVATIONS

- 1" MIN. F.G. TO F.F. (3" AT PAVING) - SLOPE SLOPE ADJ. GRADE AWAY FROM BLDG.
- 2 NEW ASPHALT SHINGLE ROOFING. TO MATCH EXISTING. 30W FELT 30W ROOF SHEATHING. - SEE MATERIAL SPECIFICATIONS, SHEET A-2
- 3 EXTERIOR PLASTER 3/8" METAL LATH 3/8" BUILDING PAPER STUCCO STEEL TROWEL FINISH - TO MATCH EXISTING. TYP. SEE SPECIFICATIONS BELOW 2 LAYER GRADE D PAPER (FELT) 3/8" PLYWOOD SHEAR WALLS.
- 4 WOOD FASCIA AND GUTTER. TO MATCH EXISTING. CONNECT TO EXISTING DOWNSPOUTS - PAINT
- 5 NEW DOORS AND WINDOWS
- 6 NEW OPERABLE SKYLIGHT W/ ELECTRIC SWITCH. MANUF. ACRALIGHT DUAL-PANE SKYLIGHT WITH ELECTRICAL OPERATION. INSTALL PER ESR-2415 AND MANUFACTURER RECOMMENDATIONS.

GENERAL NOTES - ELEVATIONS

1. PROVIDE ADDRESS ON BUILDING PER N.B.M.C. (3.12.210)
2. SEE ROOF PLAN SHEET FOR ROOF VENTILATION CALCULATIONS.

MATERIAL SPECIFICATIONS

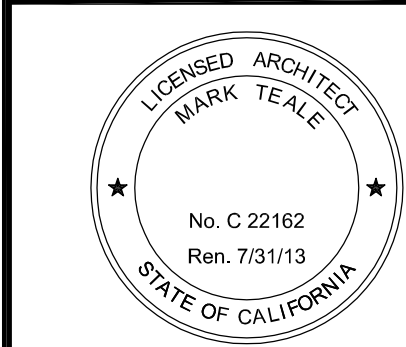
EXTERIOR PLASTER

WHERE "EXTERIOR PLASTER" IS INDICATED ON THE DRAWINGS PROVIDE:

EXTERIOR PLASTER 3/8" METAL LATH 3/8" BUILDING PAPER STEEL TROWEL FINISH - UNLESS NOTED OTHERWISE. PROVIDE WEED/DRIIP SCREEDS, AND CORNER BEADS AT ALL LOCATIONS PER PLASTER INSTITUTE STANDARDS. PROVIDE EXPANSION JOINTS AS INDICATED ON ELEVATIONS. THE SUBCONTRACTOR SHALL MAKE RECOMMENDATIONS WHERE TO LOCATE EXPANSION JOINTS PRIOR TO STARTING WORK AND REVIEW THE PLACEMENT WITH THE ARCHITECT.

MERLEX INTERIOR COLOR COAT COLOR: BASE COAT: P-100 CRYSTAL WHITE BLENDED W/ TOP COAT. TO MATCH SIDING, AS SELECTED BY OWNER. PROVIDE COLOR SAMPLE PRIOR TO INSTALLATION.

2900 Bristol Street
Building A, Suite 203
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www.aalsearchitecture.com



PROJECT
SMITH RESIDENCE
220 RUBY STREET
NEWPORT BEACH, CA 92662
BALBOA ISLAND
...

SHEET
EXTERIOR ELEVATIONS

REVISIONS:

CURRENT REVISION:

Plot Date: 05/30/13

START DATE: 1/12/12

SCALE: 1/4" = 1'-0"

SHEET

A-3

AREAS:
220 RUBY (DOWNSTAIRS): 960 SF
220 1/2 RUBY (UPSTAIRS): 1,509 SF

EXISTING 1ST FLOOR 960 S.F.
1ST FLOOR ADDITIONAL FLOOR AREA 84 S.F.
TOTAL 1ST FLOOR 1044 S.F.

(HABITABLE)

EXISTING 2ND FLOOR 1,422 S.F.
2ND FLOOR ADDITIONAL FLOOR AREA 3 S.F.
TOTAL 2ND FLOOR 1425 S.F.

EXISTING GARAGE 359 S.F.
ADDITIONAL GARAGE AREA 0 S.F.

TOTAL HABITABLE AREA 2,469 S.F.
TOTAL DECK AREA 37 S.F. (HABITABLE)
TOTAL GARAGE AREA 359 S.F.

GARAGE + HABITABLE AREA 2,828 S.F. (=2,828 S.F. MAX)

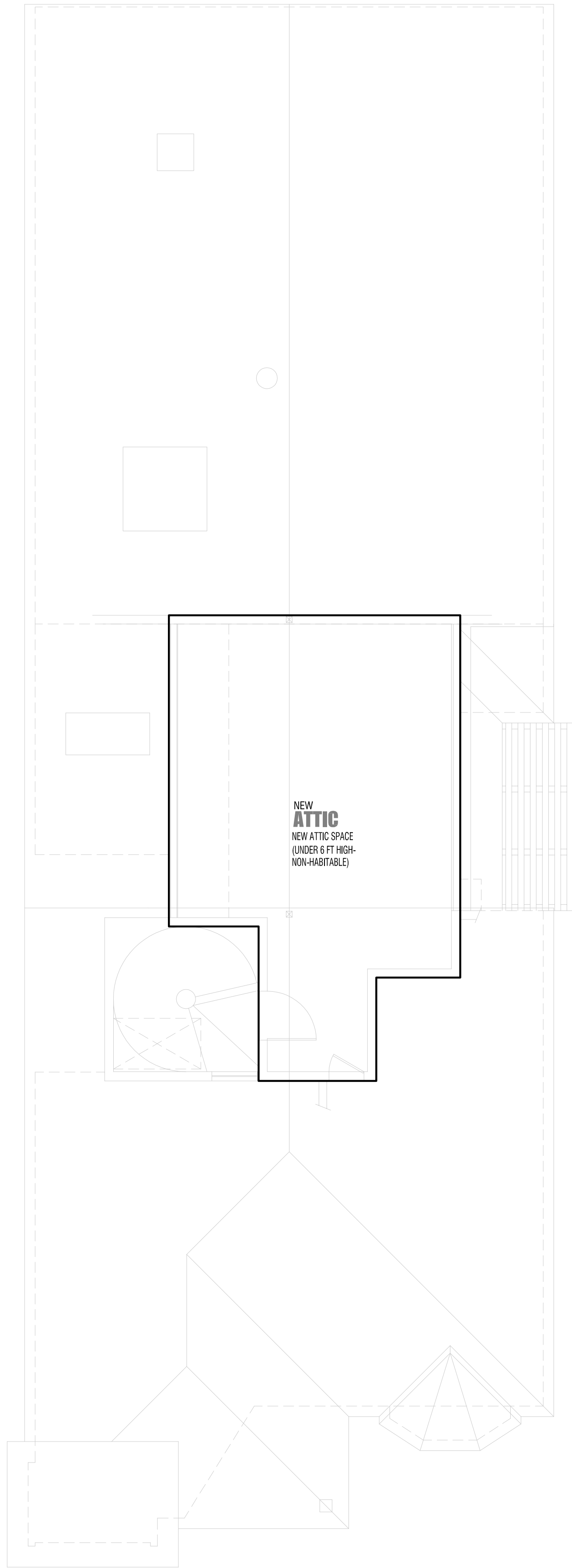
BUILDABLE AREA: 1,752 S.F.
1,752 x 1.5: 2,628 S.F. + 200 S.F. = 2,828 S.F. MAX.

AREA CALCULATIONS - SECOND FLOOR

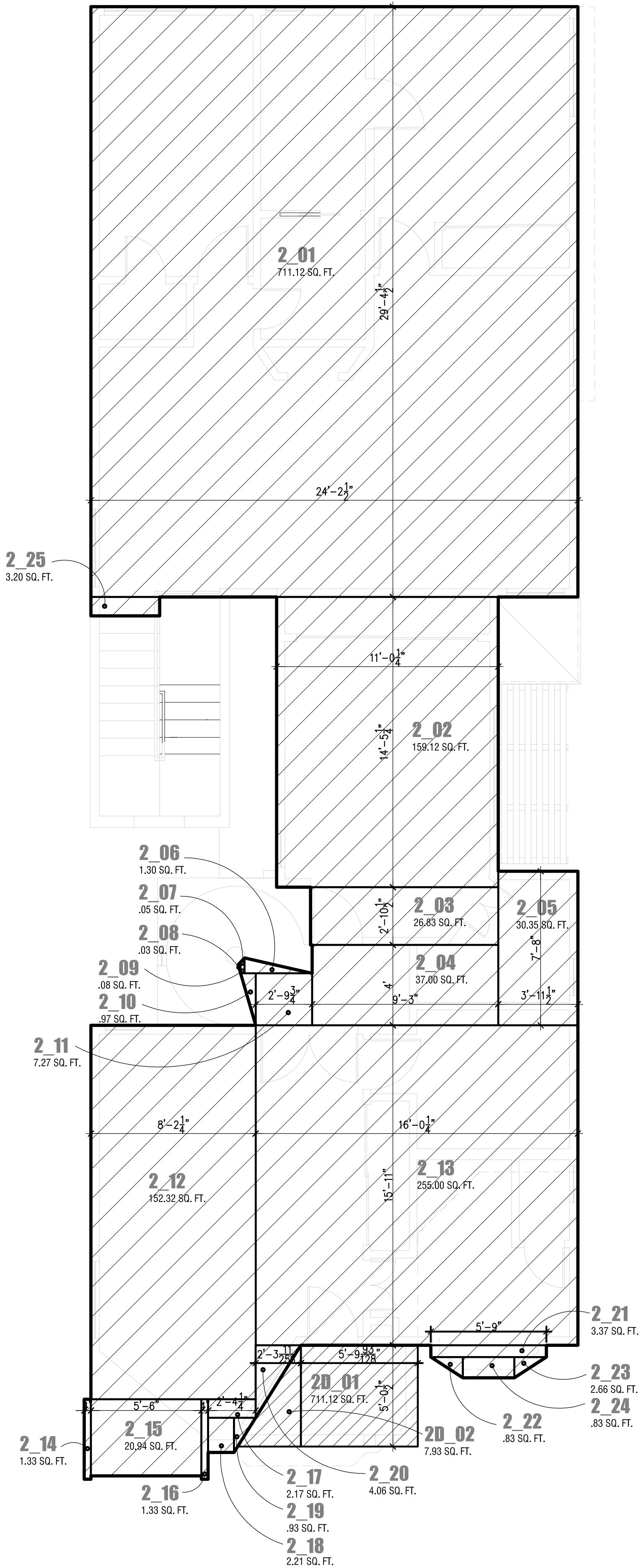
SECOND FLOOR	DECKS
2_01	711.12 S.F.
2_02	159.12 S.F.
2_03	26.83 S.F.
2_04	37.00 S.F.
2_05	30.35 S.F.
2_06	1.30 S.F.
2_07	0.05 S.F.
2_08	0.03 S.F.
2_09	0.08 S.F.
2_10	0.97 S.F.
2_11	7.27 S.F.
2_12	152.32 S.F.
2_13	255.00 S.F.
2_14	1.33 S.F.
2_15	20.94 S.F.
2_16	1.33 S.F.
2_17	2.17 S.F.
2_18	2.21 S.F.
2_19	0.93 S.F.
2_20	4.06 S.F.
2_21	3.37 S.F.
2_22	0.83 S.F.
2_23	2.66 S.F.
2_24	0.83 S.F.
2_25	3.20 S.F.
	1425.30 S.F.
	1,425 S.F.

AREA CALCULATIONS - FIRST FLOOR

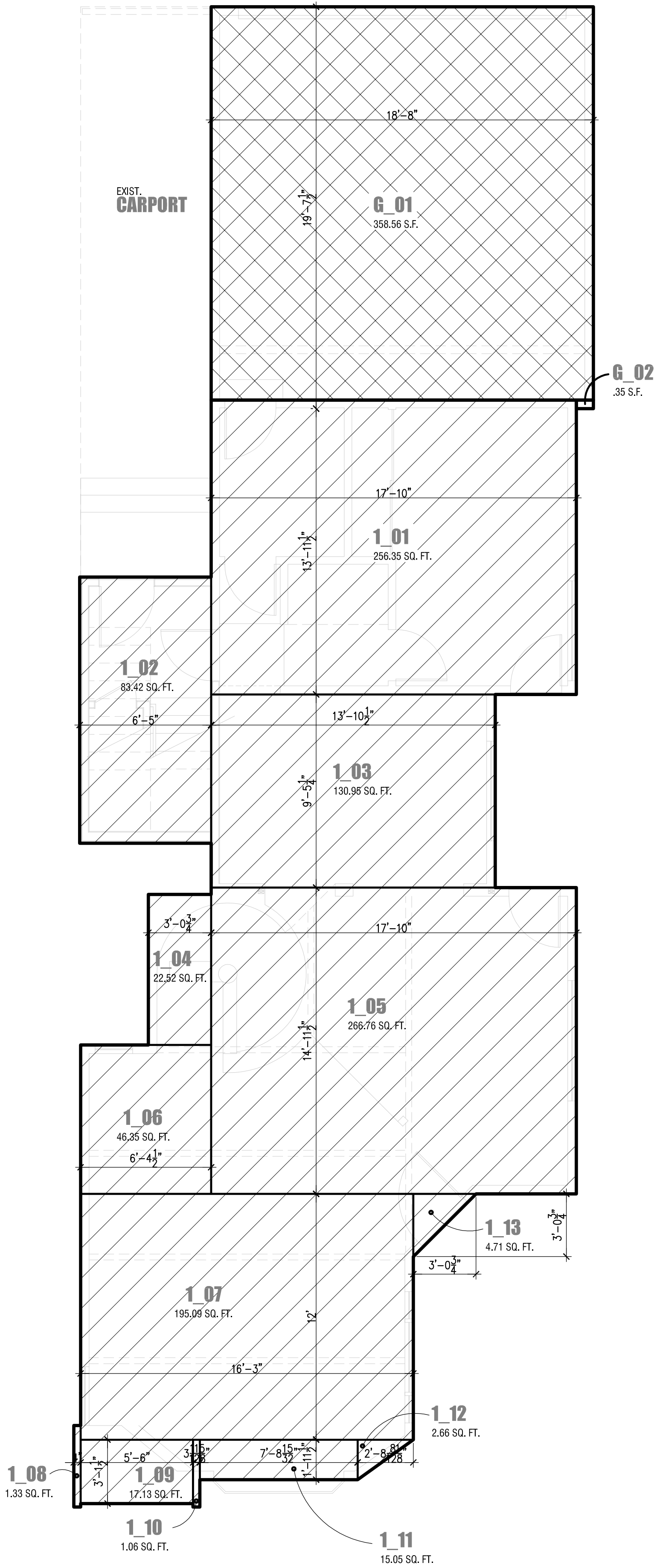
FIRST FLOOR	GARAGE
1_01	256.35 S.F.
1_02	83.42 S.F.
1_03	130.95 S.F.
1_04	22.92 S.F.
1_05	266.76 S.F.
1_06	46.25 S.F.
1_07	195.09 S.F.
1_08	1.33 S.F.
1_09	17.13 S.F.
1_10	1.06 S.F.
1_11	15.05 S.F.
1_12	2.66 S.F.
1_13	4.71 S.F.
	1043.38 S.F.
	1044 S.F.



ROOF PLAN



AREA CALCULATIONS
SECOND FLOOR PLAN



AREA CALCULATIONS
FIRST FLOOR PLAN

THESE DRAWINGS AND/OR SPECIFICATIONS ARE PREPARED BY THE ARCHITECT AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED TO THE ARCHITECT AND FOR THE RESULTS OF THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE RESULTS OF THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE RESULTS OF THE DESIGN AND CONSTRUCTION OF THE PROJECT.



PROJECT
SMITH REMODEL
220 RUBY AVENUE
NEWPORT BEACH, CA 92662
BALBOA ISLAND
...

SHEET
AREA CALCULATIONS
REVISIONS:

CURRENT REVISION:

Plot Date: 05/30/13
START DATE: 1-12-12
SCALE: 1/4" = 1'-0"
SHEET